

TOPOGRAPHIC LEGEND

Power / Telephone Pole	Signal Pole
Light Pole	Signal Box / Traffic Control Box
Power Pole	Electric Meter
Electric Box (Access)	Gas Line Marker
Gas Valve	Fire Hydrant
Sanitary Manhole	Water Valve
Storm Manhole	Water Meter
Catch Basin	Telephone Line Marker
End Storm Drain	Telephone Box
Structure Number	Bollard
Sign	Mail Box
LA-RW	Limited Access Right-of-Way Line
RW	Right-of-Way Line
G	Gas Line
W	Water Line
UGE	Underground Electric
UGT	Underground Communications
OHL	Overhead Utility Line
STM	Storm Sewer
SAN	Sanitary Sewer
FO	Fiber-Optic Line
	Tree / Brush Line

SURVEY MONUMENT LEGEND

- 5/8" Iron Pin Set w/cap CESO, Inc
- Iron Pin Found as Described
- Monument Found as Described
- PK Nail/Mag Nail Found
- PK Nail/Mag Nail Set
- Benchmark Set
- Deed Record
- Measured

BENCHMARK
Vertical Datum: NAVD88
derived from GPS Observations

BM "A": Benchmark set northwest corner of power pole. South side of Earlywood Dr., east from service entrance to Dodge dealership. Elevation = 776.83'
BM "B": Chiseled "X" southeast corner of concrete pad for signal pole. Northeast corner of U.S. 31 and Earlywood Dr., intersection, southwest from traffic control box. Elevation = 779.95'
BM "C": Chiseled "X" on arrow bolt west side of hydrant, south side of Sloan Rd., across the street from the fire station, near the end of the sidewalk. Elevation = 780.33'
BM "D": Chiseled "X" on bolt west side of hydrant. West from telephone box southeast corner of Sloan Rd. and U.S. 31. Elevation = 778.03'

Structure Chart	Sanitary Structure Chart
Invert 20680 18" conc. W = 773.81'	sanitary manhole 21389 rim = 777.22' 15" clay NE = unable to open
Invert 20904 18" conc. E = 774.28'	sanitary manhole 20744 rim = 779.31'
Invert 20938 15" conc. W = 774.99'	15" clay SW = 759.96' 15" clay SE = 759.96'
Invert 20950 15" conc. E = 775.22'	sanitary manhole 20735 rim = 780.42'
Invert 20803 15" conc. E = 773.41'	15" clay NW = 759.86' 15" clay SE = 759.86'
Invert 20804 15" conc. W = 773.15'	sanitary manhole 20679 rim = 778.22'
Invert 21058 15" conc. N = 774.65'	12" clay W = 760.97' 12" clay E = 760.97'
Invert 21088 12" cmp E = 774.62'	sanitary manhole 20730 rim = 777.16'
	15" clay NW = 759.01' 12" clay E = 759.01' 15" clay SE = 759.01'

SURVEYOR NOTES:

- This survey does not constitute a title search by the surveyor. All information regarding record easements, and other documents that might affect the quality of title to the parcel shown hereon we obtained through a certified title commitment conducted by First American Title Insurance Company National Commercial Services, Commitment Number NC8-12256990-PHIL and bearing an effective date of June 26, 2024 at 7:30 AM.
- Direct access to the subject parcel is available via Earlywood Drive & Sloan Drive.
- The utilities shown are located from field survey information and/or existing drawings supplied by client. The surveyor makes no guarantee that the utilities located comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available.
 - Indiana 811 ticket No: 2403042746, 2403042910, 2403042937, 2403044316, 2403044350, 2403044366.
 - Marking provided by The Underground Detective on 12/28/2023.
- Parcel is located within Zone "X" (Area of Area of Minimal Flood Hazard) as indicated by the Flood Insurance Rate Map (FIRM) Map Number 18081C0138E, effective date: 1/29/2021 published by the Federal Emergency Management Agency.
- A zoning report was not provided to the surveyor at the time of this survey.
- There are no parking spaces on the surveyed property.
- The surveyed property is at the intersection of N Morton Street & Earlywood Drive to the south, and Sloan Drive & N Morton Street to the north.
- There was no observed evidence of current earth moving work, building construction or building additions at the time of this survey.
- U.S. 31 right-of-way plans provided to the surveyor are dated 3/1/2022, proposed street upgrades do not appear to have occurred as of the date of the field work. No evidence of street or sidewalk construction or repairs observed at time of the field survey.

EXHIBIT "A" LEGAL DESCRIPTION
The Land referred to herein below is situated in the County of Johnson, State of Indiana, and is described as follows:
A part of the southwest quarter of Section 34, Township 13 North, Range 4 East of the Second Principal Meridian, in Pleasant Township, Johnson County, Indiana, described as follows:
Beginning at a point on the south line of said quarter section that is North 89 degrees 17 minutes East (assumed bearing), 2035.45 feet from the southwest corner thereof, said point also being in the northbound lane of U.S. Highway No. 31; thence continuing North 89 degrees 17 minutes East on and along said south line, 329.95 feet to a point that is South 89 degrees 17 minutes West, 2970.20 feet from the southeast corner of the southeast quarter of said Section 34; thence North 00 degrees 00 minutes East, 968.50 feet; thence South 89 degrees 10 minutes 30 seconds West, 607.59 feet to a point in said highway; thence South 16 degrees 04 minutes East with said highway, 1003.05 feet to the Place of Beginning, containing 10,417 acres, more or less, including the right-of-way of u.s. highway no. 31, which contains 1.114 acres, more or less.

SCHEDULE B - PART II
Part One does not contain any easements. Part Two items 1, 2, and 10-14 are not survey related.

- Terms, provisions and conditions contained in Lease by and between George and Voulo Bekas, Lessor, and American Outdoor Advertising Company, Lessee, dated October 24, 2003 as disclosed by a Sign Location Lease recorded November 8, 2004 as document 2004-032312, and all rights thereunder of and all acts done and suffered thereunder of said lessee or any parties claiming by, through or under said lessee.
Note: The term of the Lease is fifteen (15) years with right to renew for one (1) additional five (5) year term.
APPROXIMATE LOCATIONS OF THE LEASE AREAS ARE AS SHOWN HEREON.
- Reservation of easement for ingress and egress as contained in Warranty Deed from David W. Dowden and Nancy A. Dowden, husband and wife, to Evans Products Company of the City of Portland recorded January 18, 1973 in Book 196, page 525.
EASEMENT IS NOT ON, BUT ADJOINS THE SURVEYED PROPERTY AS SHOWN HEREON.
- Right-of-Way Easement in favor of City of Franklin, Indiana recorded April 11, 1975 in Book 203, page 594, and the terms and conditions contained therein.
EASEMENT IS ON THE SURVEYED PROPERTY AS SHOWN HEREON.
- Permanent Easement in favor of City of Franklin, Indiana recorded June 30, 1983 in Book 230, page 294, and the terms and conditions contained therein.
EASEMENT IS ON THE SURVEYED PROPERTY AS SHOWN HEREON.
- Permanent extinguishment of all rights and easements of ingress and egress to, from and across the limited access facility known as U.S.R. 31 and as Project U.S.-31(41) to and from the land as set out in a deed to the State of Indiana recorded June 21, 1974 in Book 201, page 486, in the Office of the Recorder of Johnson County, Indiana.
NOT ON, BUT ADJOINS, THE SURVEYED PROPERTY AS SHOWN HEREON.
- Permanent extinguishment of all rights and easements of ingress and egress to, from and across the limited access facility known as U.S.R. 31 and as Project US-31(41) to and from the land as set out in a deed to the State of Indiana recorded June 24, 1974 in Book 201, page 496, in the Office of the Recorder of Johnson County, Indiana.
RUNS THROUGH A PORTION OF THE SURVEYED PROPERTY AS SHOWN HEREON.
- 75 foot right of entry, setback and use restrictions, possible assessments for maintenance and/or reconstruction, and all rights of others entitled to the continued uninterrupted flow of water through the H O Canary 2740 Legal Drain and Powell 2724 Legal Drain, a legal drain established in accordance with I.C. 36-9-27-33.
DOCUMENT NOT PROVIDED

SURVEYOR'S REPORT:
This survey is prepared per title 865, article 1, chapter 12, section 1 through 19 of the Indiana Administrative code (I.A.C.). The locations of the boundary lines and corners as shown hereon are reported to be accurate to the degree of error and uncertainties within the components of the survey as a result of the following:
A) Availability and condition of reference monuments.
B) Occupation or possession lines.
C) Clarity or ambiguity of the record description used and of adjoining descriptions and the relationship of the lines of the subject tract with adjoining lines.
D) The relative positional accuracy of the measurements.
West Line: The west line was re-established by holding the stationing and offsets from Indiana Department of Transportation plans dated 3/1/2022, and being project number 1800082.
North Line: The north line was re-established by holding stationing and offsets of U.S. 31 from Indiana Department of Transportation plans dated 3/1/2022, and being project number 1800082, and holding a found 5/8" iron pin on the south right-of-way line of Sloan Drive.
East Line: The east line was re-established by holding a found 5/8" iron pin stamped GRW Engineers at the southwest corner of the adjoining property to the northeast, holding a found 5/8" iron pin at the northeast corner of said adjoining property with the deed record distance, and by holding the deed record distance from the southeast section corner.
South Line: The south line was re-established by holding the deed record distance from the southeast section corner, and by holding the stationing and offsets from Indiana Department of Transportation plans dated 3/1/2022, and being project number 1800082.
The relative positional accuracy of the corners of the surveyed property established per this survey is within the requirements for an urban survey 0.07 feet (21 millimeters) plus 50 parts per million as defined by I.A.C. 865.

SURVEYOR'S CERTIFICATION:
TO: (i) First American Title Insurance Company National Commercial Services (ii) Wawa Midwest, LLC, a Delaware limited liability company
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a), 11(b), 13, 14, 16, 17, 18 of Table A thereof. The fieldwork was completed on July 24, 2024.
Date of Plat or Map: August 9, 2024

Robert Matko, PS
Indiana Professional Surveyor # LS21500007
matko@cesoinc.com
13060 S. U.S. Hwy. 27, Suite D
DeWitt, Michigan 48820
(517) 212-4188



Wawa - Franklin, Indiana
North Morton Street
Southwest Quarter of Section 34., Town 13, Range 4

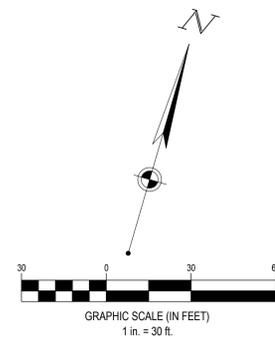
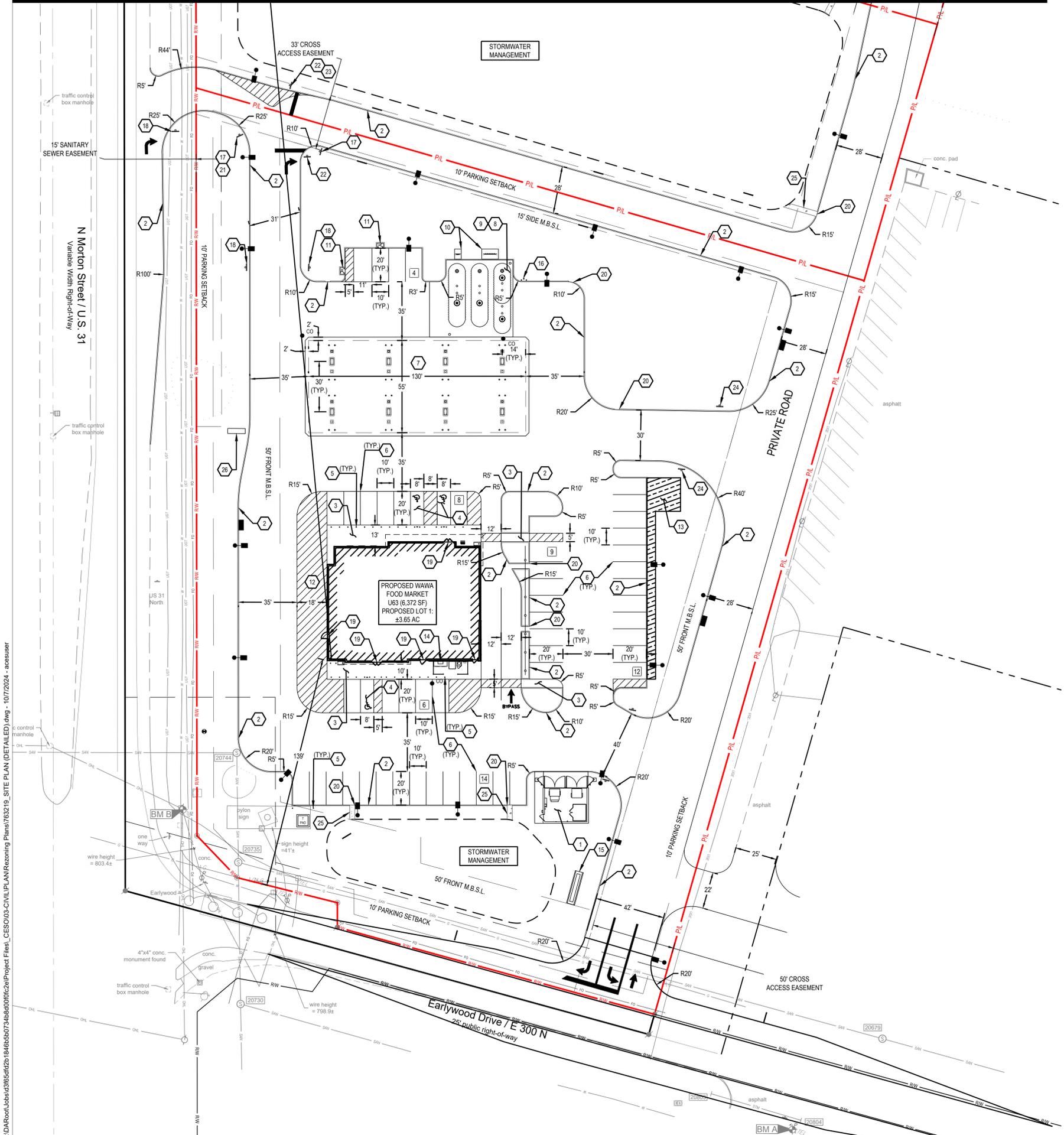
Revisions / Submissions

ID	Description	Date

Project Number: 763219
Scale: 1" = 50'
Drawn By: RSL
Checked By: RLC
Date: 8/9/2024
Issue: Survey

Drawing Title:
ALTA / NSPS LAND TITLE SURVEY

2 OF 6



SITE LEGEND

EXISTING		PROPOSED	
---	R/W	---	RIGHT-OF-WAY (BOUNDARY)
---	PL	---	PROPERTY BOUNDARY
---		---	SETBACK
---		---	EASEMENT
---		---	BUILDING
---		---	CONCRETE CURB
---		---	PAVEMENT/WALK
---		---	PARKING SPACE COUNT
---		---	SIGN
---		---	LIGHT POLE
---		---	BOLLARD
---		---	CLEAN OUT
---		---	CURB INLET
---		---	HEADWALL

SITE REQUIREMENTS:

- BUILDING SETBACKS:**
 FRONTAGE ALONG (EAST PRIVATE ROAD) - 50'
 FRONTAGE ALONG (US 31 ROW) - 50'
 FRONTAGE ALONG (EARLYWOOD DRIVE / E 300N) - 50'
 SIDE YARD - 15'
 REAR YARD - 20'
- PARKING SETBACKS:**
 FRONTAGE ALONG (EAST PRIVATE ROAD) - 10'
 FRONTAGE ALONG (US 31 ROW) - 10'
 FRONTAGE ALONG (EARLYWOOD DRIVE / E 300N) - 10'
 SIDE YARD - 10'
 REAR YARD - 10'
- STANDARD PARKING DIMENSIONS:**
 10'Wx20'
- PARKING REQUIRED:**
WAWA C-STORE:
 (1) SPACE PER 300 S.F. OF GROSS FLOOR AREA
 6,372 x (1/300 GFA) = 22 SPACES
- TOTAL PARKING REQUIRED = 22 SPACES**
TOTAL PARKING PROPOSED = 53 SPACES

CODED NOTES:

- PROPOSED 8' MASONRY TRASH ENCLOSURE W/ 8" REINFORCED CONCRETE PAD.
- PROPOSED 6" STRAIGHT CURB.
- PROPOSED 4" CONCRETE SIDEWALK (4,000 PSI).
- ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE.
- PROPOSED 6" CONCRETE BOLLARD. TYPICAL DISTANCE BETWEEN BOLLARDS ARE 5'.
- PROPOSED 4" YELLOW PAINT PARKING LOT PAVEMENT MARKINGS.
- PROPOSED 130' X 55' FUELING CANOPY (7,150 SF)
- PROPOSED 8" CONCRETE PAD (4,000 PSI)
- PROPOSED TWO (2) ZK AND TWO (2) 20K FUEL STORAGE TANKS. REFER TO FUELING PLANS FOR DETAILS.
- PROPOSED 6'X6' VENT RISER CONCRETE PAD (4,000 PSI) WITH TWO BOLLARDS.
- PROPOSED AIR PUMP.
- PROPOSED 8" CONCRETE LOADING ZONE (4,000 PSI).
- LIMITED BUILD AREA FOR FUTURE EV EQUIPMENT.
- PROPOSED ICE CHEST.
- PROPOSED GROUND MOUNTED SIGN.
- E-STOP BUTTON LOCATION.
- PROPOSED DO NOT ENTER SIGN.
- PROPOSED RIGHT-IN SIGN.
- PROPOSED BUILDING DOOR.
- PROPOSED 3' CURB CUT.
- PROPOSED ONE-WAY SIGN.
- PROPOSED STOP SIGN.
- PROPOSED LEFT TURN ONLY SIGN.
- PROPOSED DIRECTIONAL SIGN.
- PROPOSED 3' W CONCRETE FLUME.
- PROPOSED PYLON SIGN.

SITE NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL INDOT STANDARDS. THE CONTRACTOR SHALL OBTAIN FINAL APPROVALS/PERMITTING AND INSPECTIONS AS NECESSARY PRIOR TO CONSTRUCTION.
- ALL WET OR OTHERWISE UNSUITABLE SOILS MUST BE STABILIZED PRIOR TO PAVEMENT CONSTRUCTION.
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- ALL RADII TO BE 3'-0" UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT AND DIMENSIONS AND PROPOSED SIGNS.



VICINITY MAP
NO SCALE

FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: INDIANA UTILITIES PROTECTION SERVICE AT 811 OR 800-382-5544 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



7711 Borzomme Ave., Suite 600
 Clayton, MO 63105
 Phone: 314.634.0663 Fax: 888.208.4826



THE INFORMATION ON THIS DOCUMENT IS PRELIMINARY OR INCOMPLETE. IT IS NOT FOR CONSTRUCTION OR RECORDING PURPOSES. ONLY FOR INFORMATION.



WAWA
STORE #7426

FRANKLIN, IN
NE HIGHWAY 31ST & E COUNTY ROAD 300 N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

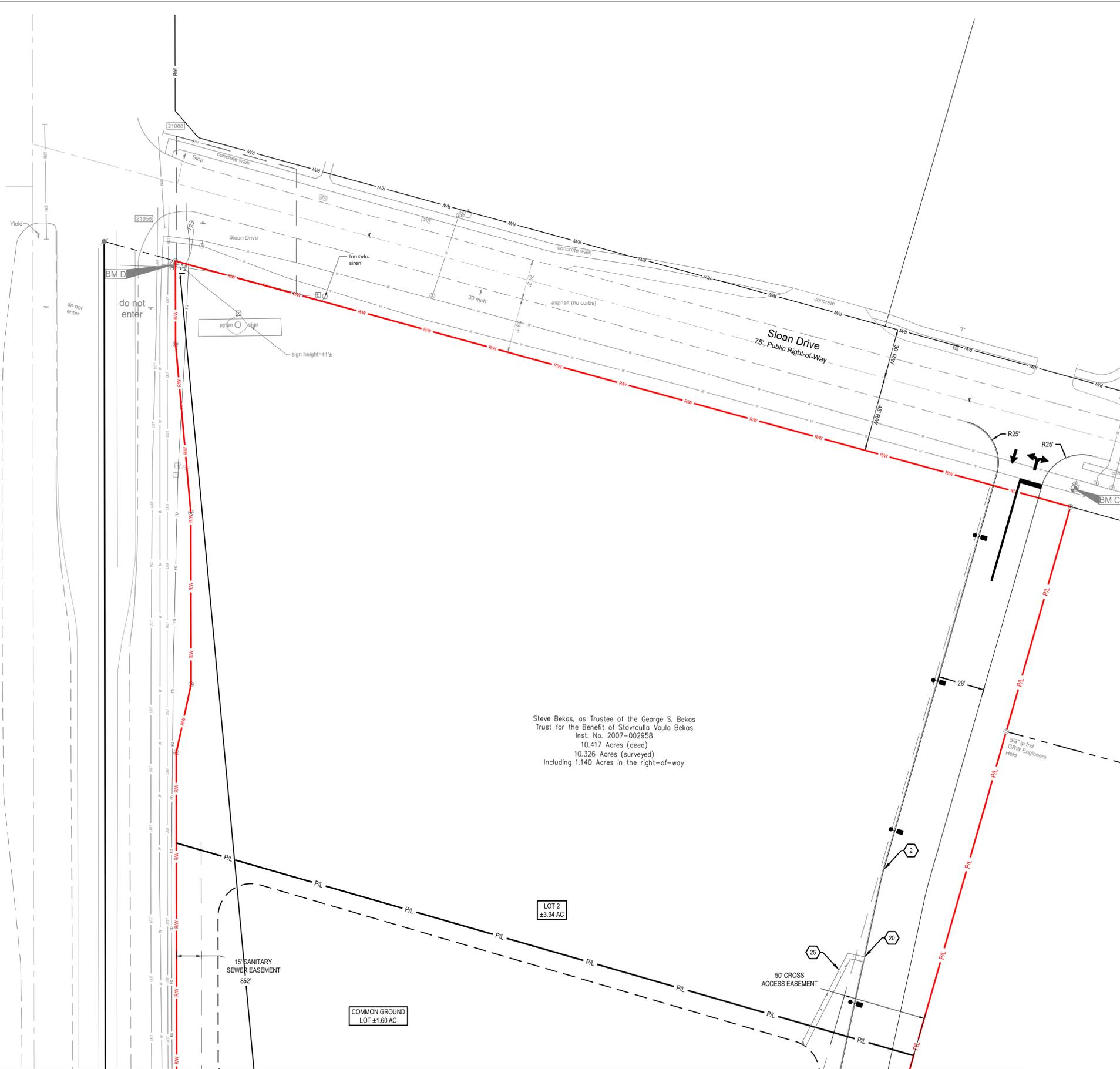
Revisions / Submissions		
ID	Description	Date

© 2024 CESO, INC.
 Project Number: 763219
 Scale: 1"=30'
 Drawn By: FAR
 Checked By: JTK
 Date: 09/05/2024
 Issue: NOT FOR CONSTRUCTION

Drawing Title:
SITE PLAN-SOUTH

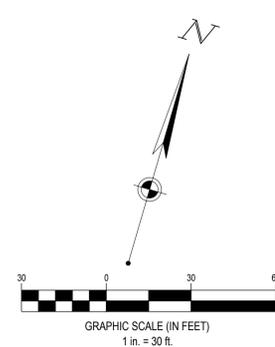
4 OF 15

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MATCHLINE- SEE SHEET 4 OF 15 SITE PLAN-SOUTH

Steve Bekas, as Trustee of the George S. Bekas Trust for the Benefit of Storooula Voulo Bekas
Inst. No. 2007-002958
10.417 Acres (deed)
10.326 Acres (surveyed)
Including 1.140 Acres in the right-of-way



SITE LEGEND

EXISTING	
REFER TO ALTANSPS TOPOGRAPHIC SURVEY	
PROPOSED	
	R/W RIGHT-OF-WAY
	PL PROPERTY LINE
	SETBACK
	EASEMENT
	BUILDING
	CONCRETE CURB
	PAVEMENT/WALK
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	SIGN
	LIGHT POLE
	BOLLARD
	CLEAN OUT
	CURB INLET
	HEADWALL

SITE REQUIREMENTS:

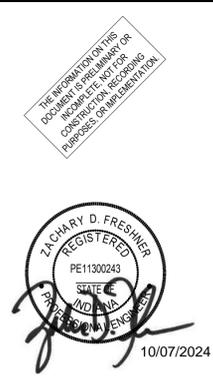
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WAWA
STORE #7426

FRANKLIN, IN
NE HIGHWAY 31ST & E COUNTY ROAD 300 N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

Revisions / Submissions

ID	Description	Date

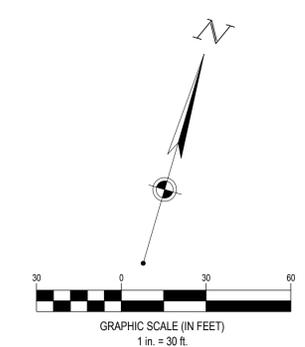
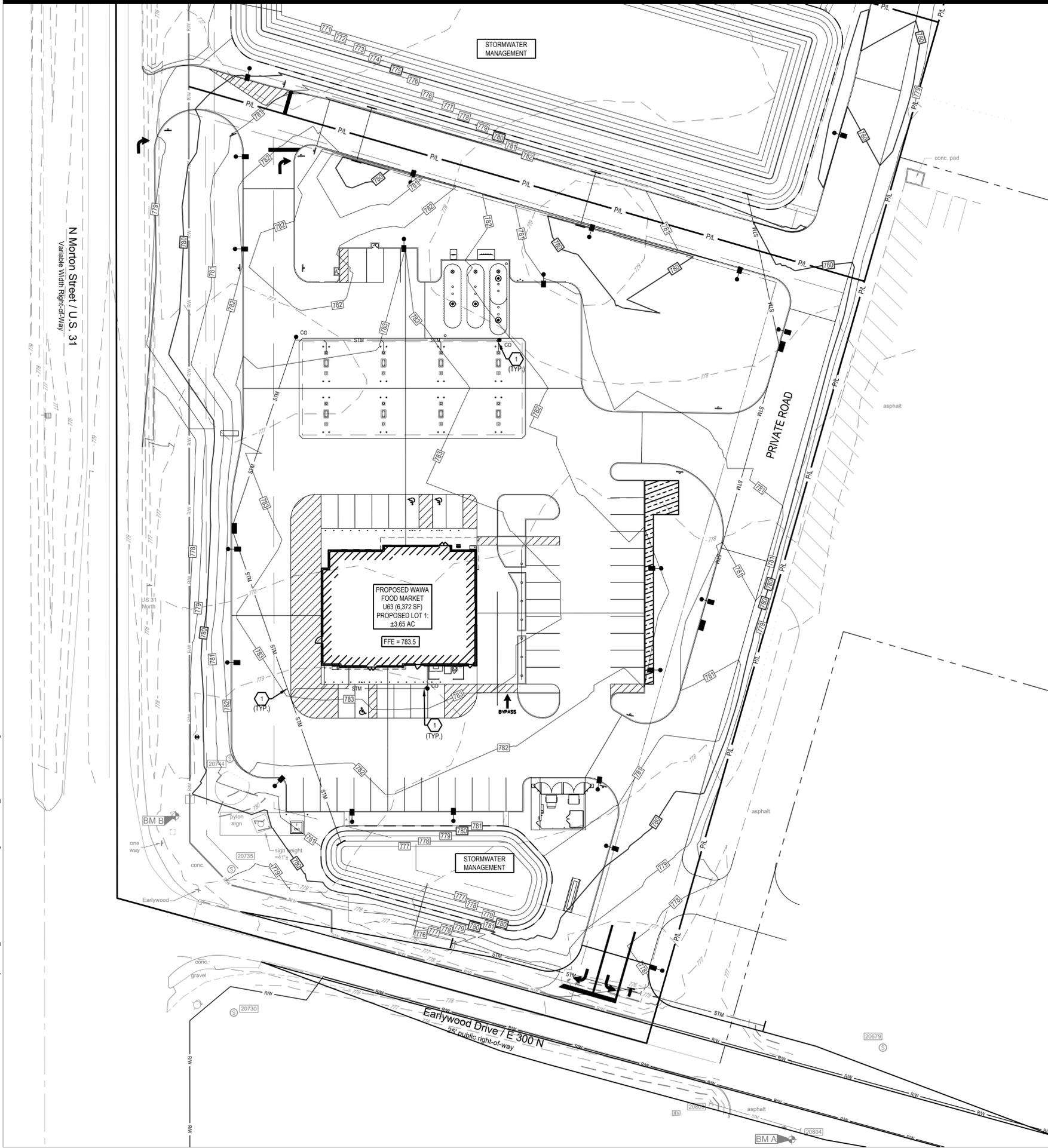
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Project Number: 763219
Scale: 1"=30'
Drawn By: FAR
Checked By: JTK
Date: 09/05/2024
Issue: NOT FOR CONSTRUCTION

Drawing Title: **SITE PLAN-NORTH**



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: INDIANA UTILITIES PROTECTION SERVICE AT 811 OR 800-382-5544 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



GRADING LEGEND

EXISTING
REFER TO ALTA/SPS TOPOGRAPHIC SURVEY

PROPOSED

- RIGHT-OF-WAY
- - - PROPERTY LINE
- - - SETBACK
- - - EASEMENT
- ▨ BUILDING
- 780 — MAJOR CONTOUR
- 781 — MINOR CONTOUR
- GRADE BREAK
- CO CLEAN OUT
- CURB INLET
- STM STORM SEWER LINE
- HEADWALL

- GRADING NOTES:**
- REFER TO SECTION 9 WAWA EARTHWORK / GRADING / CLEARING / DEMOLITION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS THAT SHOULD BE FACTORED IN BIDDING, PREPARING THE SITE, AND SITE TURNOVER. ANY CONFLICTS OR DISCREPANCIES BETWEEN THE PLANS AND SPECIFICATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER TO OBTAIN CLARIFICATION.

- CODED NOTES:** ◻
- WYE CONNECTION

EARTHWORK QUANTITIES

RAW CUT (CY)	RAW FILL (CY)
6696	23507

*ESTIMATED QUANTITIES NOT FOR BIDDING

BENCHMARK

Vertical Datum: NAVD88
derived from GPS Observations

- BM "A": Benchmark set northwest corner of power pole. South side of Earlywood Dr., east from service entrance to Dodge dealership. Elevation = 776.83'
- BM "B": Chiseled "X" southeast corner of concrete pad for signal pole. Northeast corner of U.S. 31 and Earlywood Dr., intersection, southwest from traffic control box. Elevation = 779.95'
- BM "C": Chiseled "X" on arrow bolt west side of hydrant, south side of Sloan Rd., across the street from the fire station, near the end of the sidewalk. Elevation = 780.33'
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10/07/2024

WAWA
STORE #7426

FRANKLIN, IN
NE HIGHWAY 31ST & E COUNTY ROAD 300 N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

Revisions / Submissions

ID	Description	Date

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Scale: 1"=30'
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Checked By: JTK
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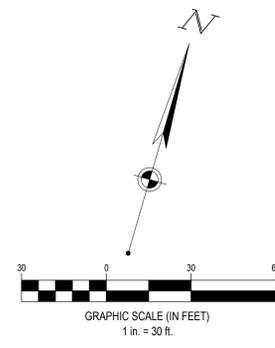
Drawing Title:
GRADING PLAN - SOUTH

7 OF 15

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MATCHLINE - SEE SHEET 7 OF 15 GRADING PLAN - SOUTH



GRADING LEGEND

EXISTING
REFER TO ALTANSPS TOPOGRAPHIC SURVEY

PROPOSED

	RIGHT-OF-WAY
	PROPERTY LINE
	SETBACK
	EASEMENT
	BUILDING
	MAJOR CONTOUR
	MINOR CONTOUR
	GRADE BREAK
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	STORM SEWER LINE
	HEADWALL

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- WYE CONNECTION

EARTHWORK QUANTITIES

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6696	23507

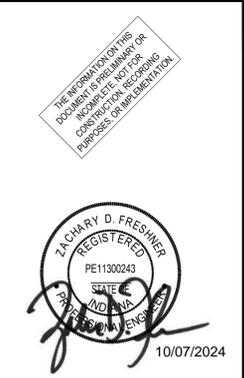
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BENCHMARK
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FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: INDIANA UTILITIES PROTECTION SERVICE AT 811 OR 800-382-5544 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



WAWA
STORE #7426

FRANKLIN, IN
NE HIGHWAY 31ST & E COUNTY ROAD 300 N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

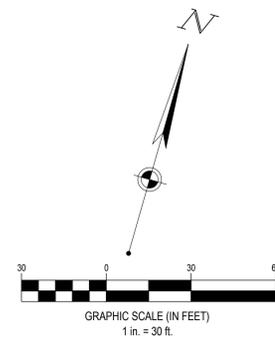
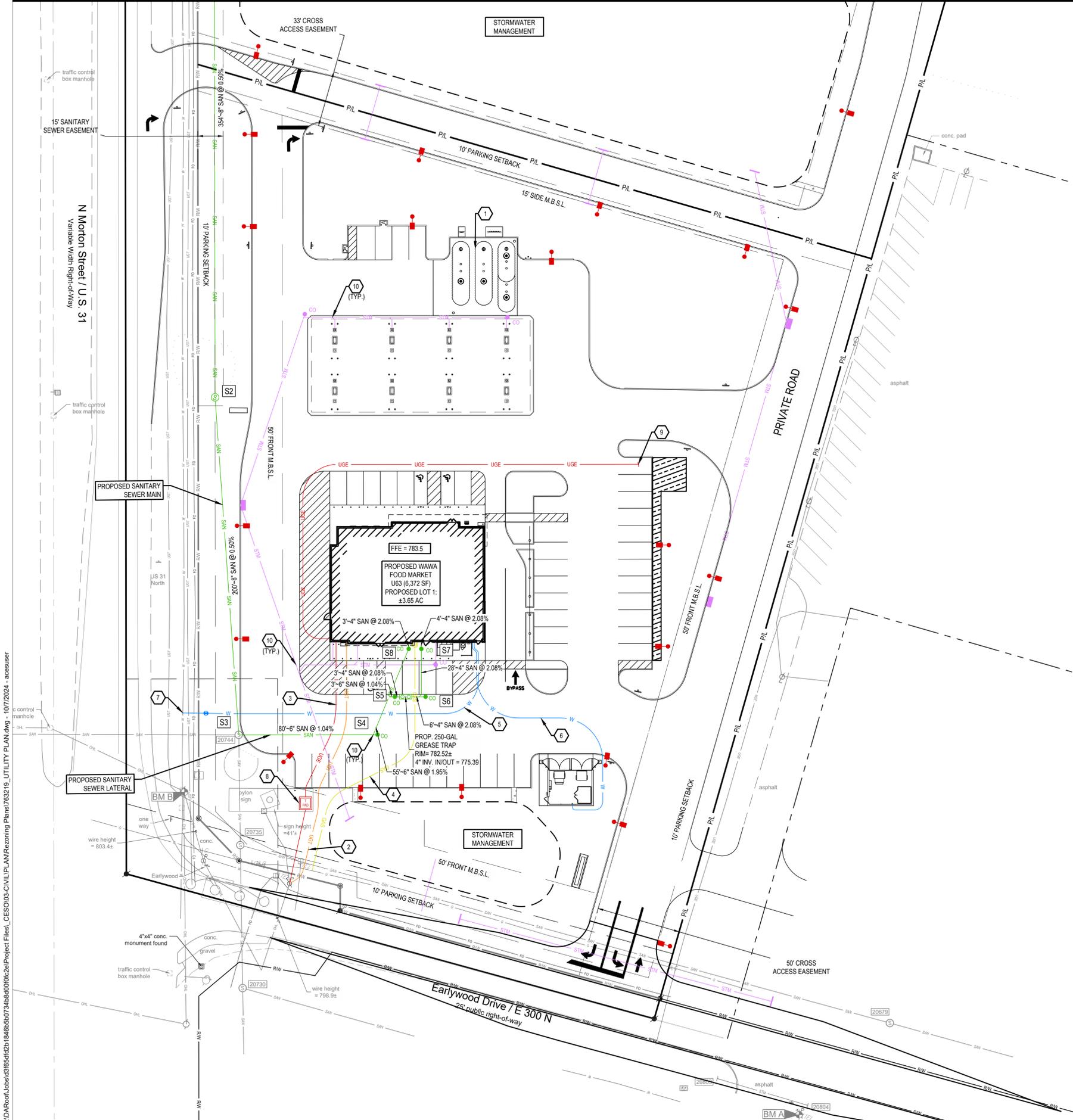
Revisions / Submissions

ID	Description	Date

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Project Number: 763219
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Drawn By: FAR
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Drawing Title:
GRADING PLAN - NORTH



UTILITY LEGEND

REFER TO XXX FOR EXISTING FEATURES LEGEND

EXISTING	
	BUILDING
	CONCRETE CURB
	PAVEMENT/WALK
	STORM SEWER LINE
	SANITARY SEWER LINE
	DOMESTIC WATER SERVICE LINE
	GAS SERVICE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND TELEPHONE LINE
	STORM SEWER
	SANITARY SEWER
	CURB INLET
	CLEANOUT
	ELECTRICAL TRANSFORMER PAD
	WATER VALVE
	HEADWALL
	LIGHT POLE

- UTILITY NOTES:**
- REFER TO WAWA SECTION 12 WET UTILITY/SWM PIPING SPECIFICATION FOR ADDITIONAL REQUIREMENTS.

- CODING NOTES:**
- UNDERGROUND STORAGE TANKS. REFER TO ARCHITECTURAL PLANS AND FUELING PLANS
 - PROPOSED UNDERGROUND TELEPHONE SERVICE. COORDINATE FINAL LOCATION WITH TELEPHONE COMPANY.
 - PROPOSED UNDERGROUND ELECTRIC SERVICE. COORDINATE FINAL LOCATION WITH ELECTRIC COMPANY.
 - PROPOSED GAS SERVICE. CONTRACTOR TO COORDINATE WITH GAS PROVIDER FOR FINAL LOCATION TO THE GAS METER AND CONNECTION TO MAIN.
 - PROPOSED 2" BLACK POLY DOMESTIC WATER SERVICE. CONTRACTOR TO COORDINATE METER WITH UTILITY COMPANY.
 - PROPOSED 3/4" POWER WASH SUPPLY TO REMOTE TRASH COMPOUND. FROST FREE YARD HYDRANT TO BE INSTALLED AT COMPOUND.
 - PROPOSED 2" WATERLINE TO CONNECT TO EXISTING WATERLINE WITH TAPPING SLEEVE AND VALVE. CONTRACTOR TO COORDINATE WITH UTILITY COMPANY.
 - PROPOSED TRANSFORMER PAD WITH BOLLARD PROTECTION PER POWER COMPANY.
 - PROVIDE 6" CONDUIT FOR FUTURE EV CHARGING.
 - WYE CONNECTION.

SANITARY SEWER STRUCTURE SCHEDULE

NO.	STRUCTURE	RIM	INVERT
S2	48" SANITARY MANHOLE	779.52	772.89 (8") S 772.89 (8") N
S3	48" SANITARY MANHOLE	781.80	774.06 (6") E 773.89 (8") N
S4	CLEANOUT	782.22	774.88 (6") N 774.89 (6") W
S5	CLEANOUT	782.87	775.33 (4") E 775.17 (6") W
S6	CLEANOUT	782.86	775.51 (4") N 775.51 (4") W
S7	CLEANOUT	783.43	776.10 (4") N 776.10 (4") S
S8	CLEANOUT	783.44	776.12 (4") N 775.95 (6") S

REFER TO STRUCTURE NOTES ON THIS SHEET

STRUCTURE NOTES:

STORM MANHOLE
SEE UTILITY DETAIL SHEET SHEET 12 OF 15 FOR DETAILS.

BENCHMARK

Vertical Datum: NAVD88
derived from GPS Observations

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Elevation = 780.33'

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Elevation = 778.03'



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Revisions / Submissions

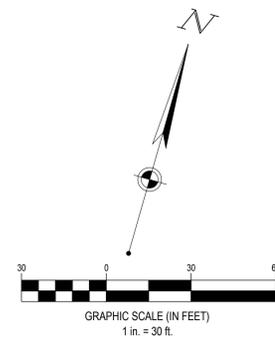
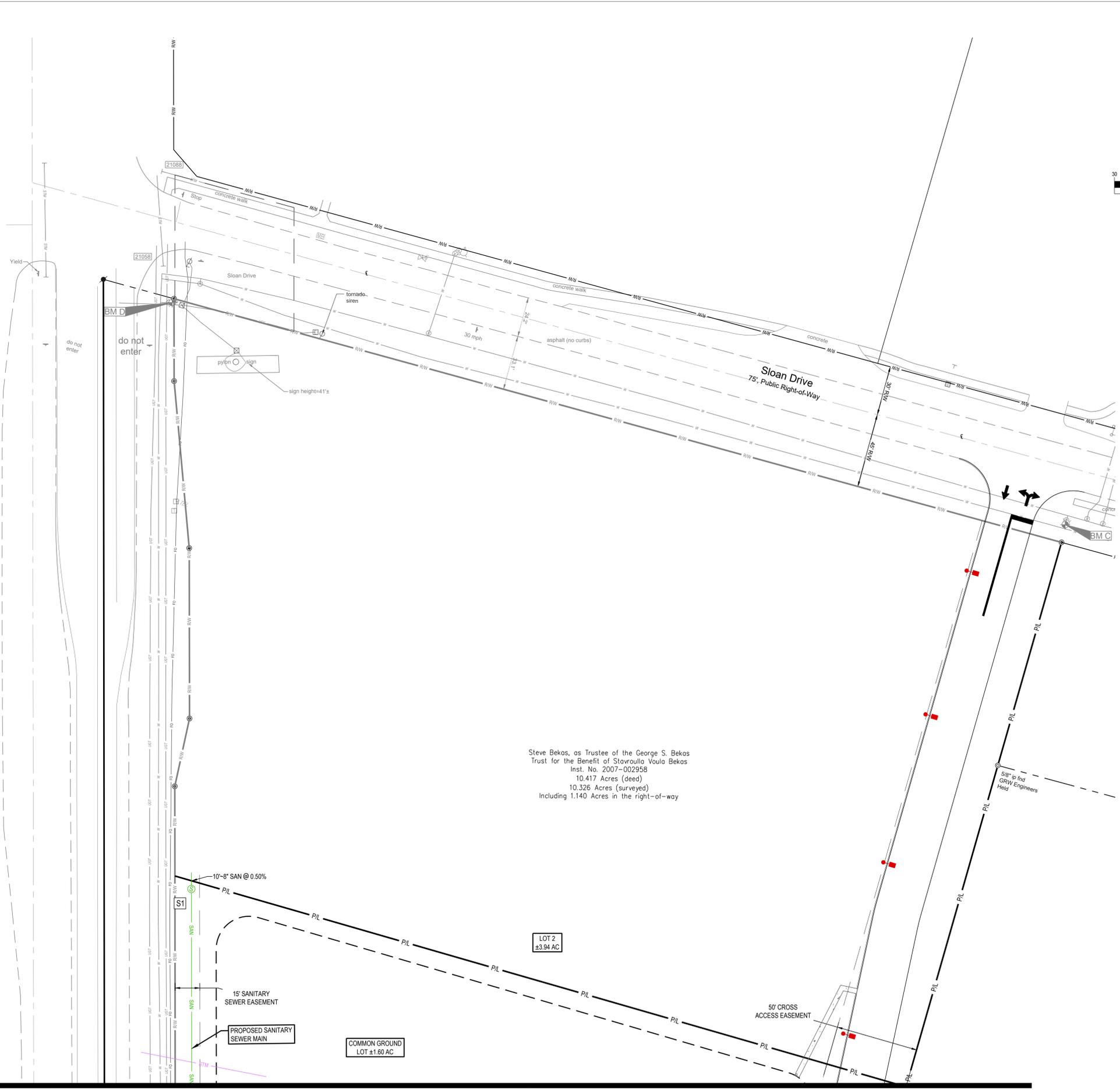
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Drawing Title:
UTILITY PLAN - SOUTH

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- UTILITY LEGEND**
- EXISTING**
REFER TO XXX FOR EXISTING FEATURES LEGEND
- PROPOSED**
- BUILDING
 - CONCRETE CURB
 - PAVEMENT/WALK
 - STM STORM SEWER LINE
 - SAN SANITARY SEWER LINE
 - W DOMESTIC WATER SERVICE LINE
 - G GAS SERVICE LINE
 - UGE UNDERGROUND ELECTRIC LINE
 - UGT UNDERGROUND TELEPHONE LINE
 - STORM SEWER
 - SANITARY SEWER
 - CURB INLET
 - CLEANOUT
 - ELECTRICAL TRANSFORMER PAD
 - WATER VALVE
 - HEADWALL
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- CODED NOTES:**
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SANITARY SEWER STRUCTURE SCHEDULE

NO.	STRUCTURE	RIM	INVERT
S1	48" SANITARY MANHOLE	776.78	771.12 (8") S 771.12 (8") N

Steve Bekas, as Trustee of the George S. Bekas Trust for the Benefit of Stavroula Voula Bekas
Inst. No. 2007-002958
10.417 Acres (deed)
10.326 Acres (surveyed)
Including 1.140 Acres in the right-of-way

BENCHMARK
Vertical Datum: NAVD88
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Drawing Title:
UTILITY PLAN- NORTH

MATCHLINE- SEE SHEET 9 OF 15 UTILITY PLAN - SOUTH



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UTILITY NOTES:

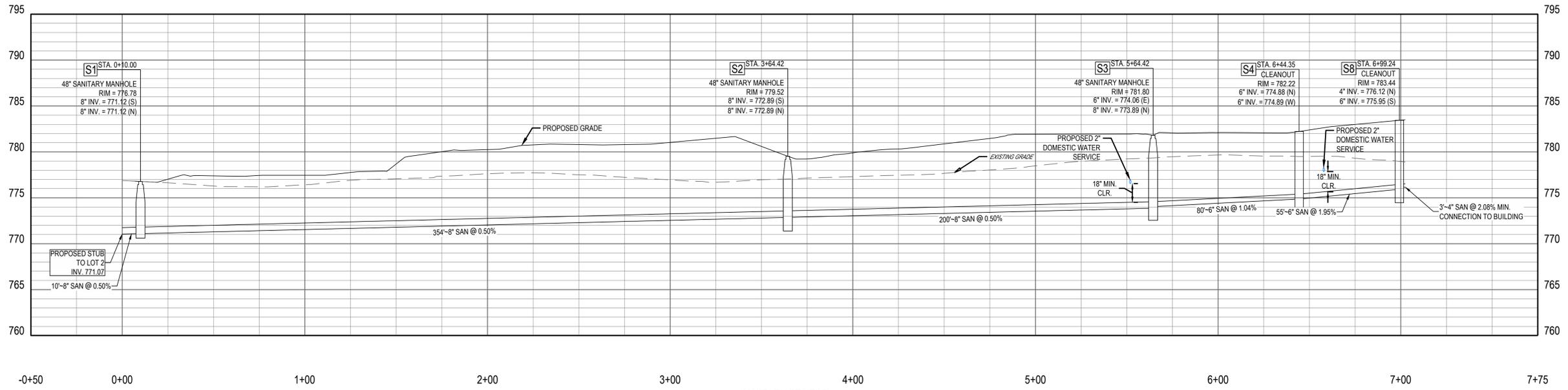
- 1. ON-SITE SANITARY SEWER LINE MATERIAL SHALL BE AS FOLLOWS:

MATERIAL	PRESSURE RATING	PIPE SPEC	FITTINGS	INSTALLATION	ACCEPTABLE AREAS OF USE
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321 WITH TYPE 1 BEDDING	ON SITE, 4" OR 6" DIA., LESS THAN 12' OF COVER
POLY VINYL CHLORIDE (PVC)	SDR 26	ASTM 3034	ASTM D3212	ASTM 2321 WITH TYPE 1 BEDDING	ON SITE, 4" OR 6" DIA., GREATER THAN OR EQUAL TO 12' OF COVER

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10/07/2024



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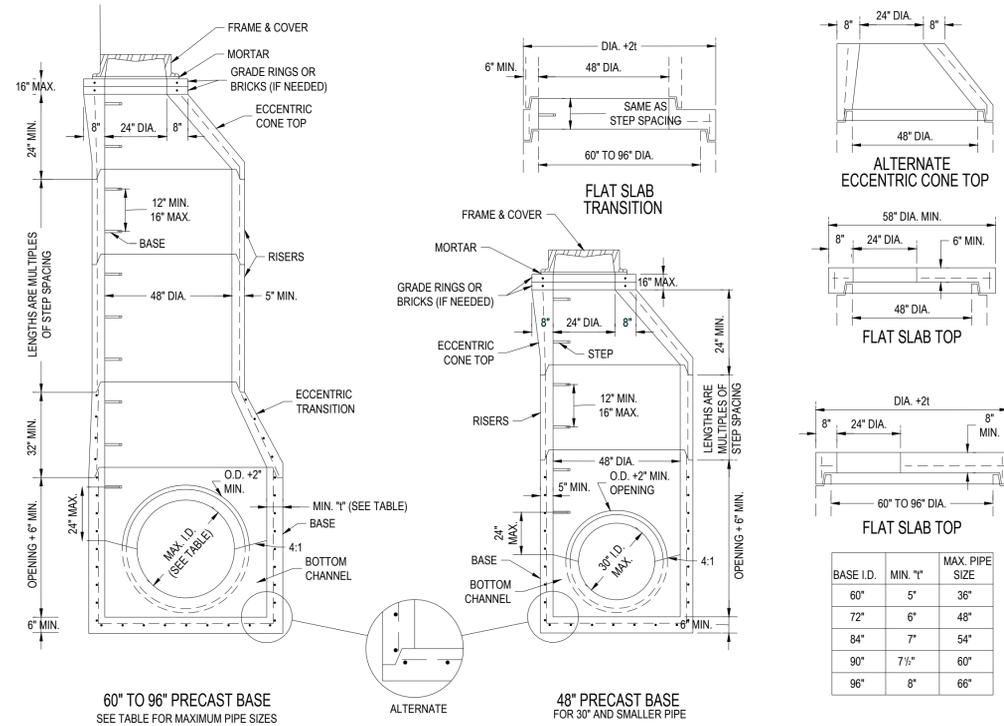


Drawing Title:
SANITARY PROFILE

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NOTES:

- SECTIONS OF THE PRECAST MANHOLE SHALL BE CAST AND ASSEMBLED WITH EITHER ALL TONGUE OR ALL GROOVE ENDS UP. LIFT HOLES MAY BE PROVIDED IN EACH SECTION FOR HANDLING.
- TOP AND TRANSITION (OR REDUCER) SECTIONS MAY BE EITHER ECCENTRIC CONE, CONCENTRIC CONE, OR FLAT SLAB.
- BASES FOR MANHOLES ARE SHOWN WITH MONOLITHIC FLOOR AND RISER WHICH MAY BE CAST IN ONE OR TWO OPERATIONS. A PERMISSIBLE ALTERNATE IS TO CAST AND SHIP THE FLOOR AND BARREL SEPARATELY. OPENINGS FOR INLET AND OUTLET PIPE SHALL BE PROVIDED EITHER WHEN THE UNIT IS CAST OR LATER, TO MEET PROJECT REQUIREMENTS. BOTTOM CHANNELS MAY BE FORMED OF CONCRETE PRECAST IN THE BASE OR BY FIELD CONSTRUCTION. BASES MAY ALSO BE POURED IN PLACE. ALL INLETS AND OUTLETS ARE TO BE IDENTIFIED. OPENINGS IN RISER SECTIONS FOR 18" AND SMALLER INLET PIPES SHALL BE PREFABRICATED. FLEXIBLE CONNECTIONS SHALL BE PROVIDED FOR SANITARY AND COMBINED SEWERS.
- JOINT SEAL BETWEEN PRECAST MANHOLE SECTIONS AND PIPES SHALL BE RESILIENT AND FLEXIBLE GASKET JOINTS PER ASTM C-923 OR LATEST EDITION.
- G-RING JOINT, BETWEEN MANHOLE SECTIONS SHALL BE FLEXIBLE BUTYL RUBBER SEAL PER ASTM C-890.
- PRECAST MANHOLE SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-478. CONCRETE SHALL BE 4000 PSI.
- SEAL LIFT HOLES WITH NON-SHRINK GROUT.
- FRAME AND COVER:
1. FRAME WITH SOLID COVER USE EAST JORDAN 1710A, WITH APPROPRIATE LETTERING OR APPROVED OTHER.
2. FRAME WITH GRATE USE EAST JORDAN 1710M OR APPROVED OTHER.



PRECAST CONCRETE MANHOLE
NTS



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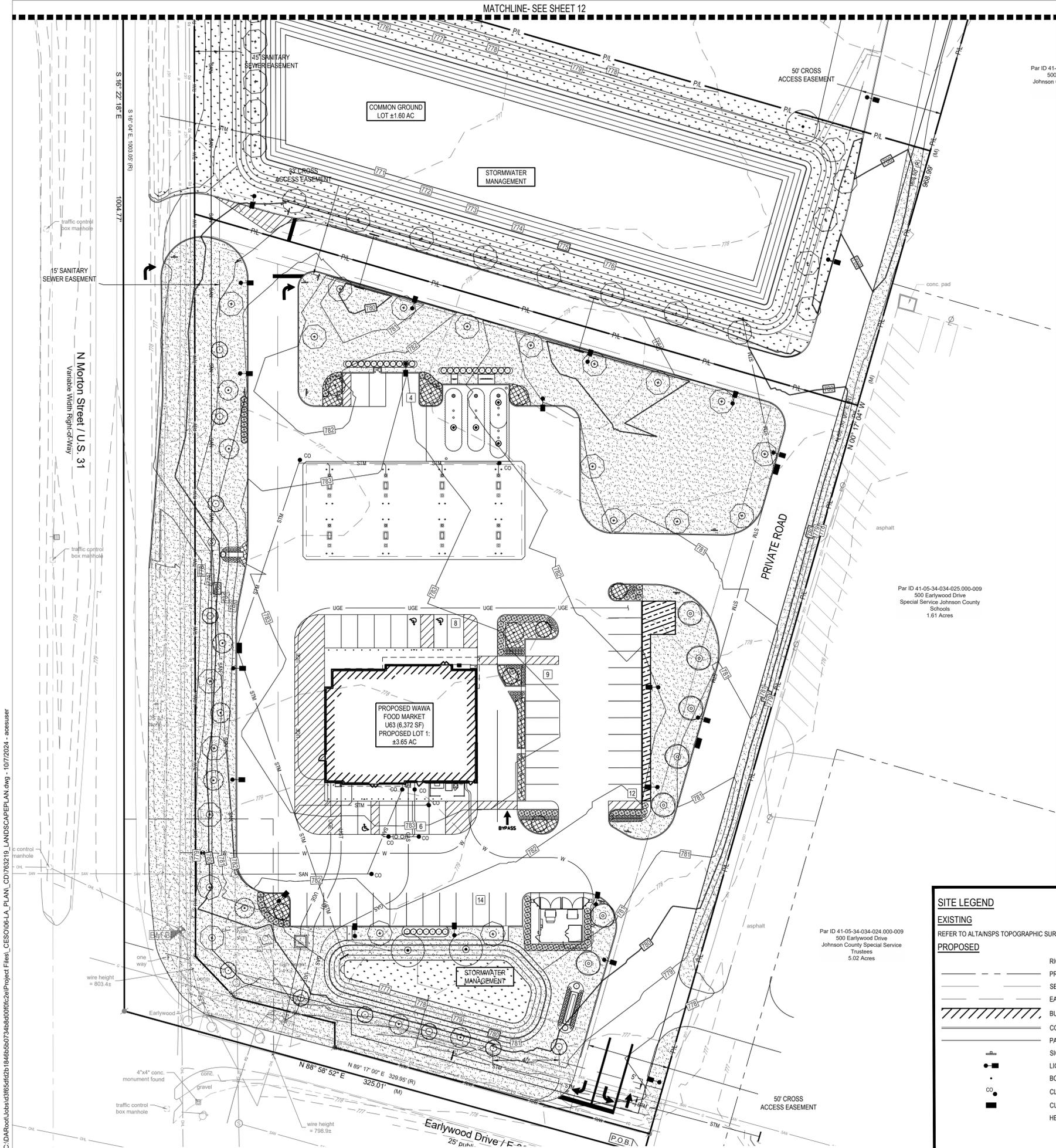
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Project Number: 763219
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Checked By: JTK
Date: 09/05/2024
Issue: NOT FOR CONSTRUCTION

Drawing Title:
UTILITY DETAIL SHEET



FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: INDIANA UTILITIES PROTECTION SERVICE AT 811 OR 800-382-5544 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE



PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
TREES					
	39	ACER GRISEUM PAPERBARK MAPLE	2.5" CAL	12' HT	AS SHOWN
	3	BETULA NIGRA RIVER BIRCH	2.5" CAL	12' HT	AS SHOWN
	7	CARPINUS BETULUS 'FASTIGIATA' UPRIGHT EUROPEAN HORNBEAM	2.5" CAL	8' HT	AS SHOWN
	12	CERCIS CANADENSIS 'FOREST PANSY' FOREST PANSY EASTERN REDBUD	2.5" CAL	8' HT	AS SHOWN
	15	GINKGO BILOBA 'JADE BUTTERFLY' JADE BUTTERFLY MAIDENHAIR TREE	2.5" CAL	12' HT	AS SHOWN
SHRUBS					
	117	SPIRAEA X BUMALDA 'LITTLE PRINCESS' LITTLE PRINCESS SPIREA	---	18" HT	2'-0" OC
	91	TAXUS CUSPIDATA JAPANESE 'YEW	---	18" HT	3'-6" OC
	32	THUJA OCCIDENTALIS 'YELLOW RIBBON' YELLOW RIBBON ARBORVITAE	---	5' HT.	4'-0" OC
GROUND COVERS					
	723	JUNIPERUS HORIZONTALIS 'BLUE RUG' BLUE RUG JUNIPER	1 GAL		1'-6" OC
	29,175 SF	POA PRATENSIS KENTUCKY BLUEGRASS	SEED		
	70,339 SF	POA PRATENSIS KENTUCKY BLUEGRASS	SOD		

MULCH
ALL PLANT BEDS SHALL CONTAIN A 3" LAYER OF DOUBLE HAMMERED HARDWOOD MULCH FROM A SUSTAINABLE SOURCE CONTRACTOR TO PLACE A 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN

LANDSCAPE REQUIREMENTS

BUFFER YARD TYPE 1:
MIN SETBACK OF 10'
1 BROAD-LEAF DECIDUOUS CANOPY TREE
MUST BE PLANTED EVERY 30' OF BOUNDARY BETWEEN THE SUBJECT AND ADJ. PROPERTIES.

EAST BUFFER TYPE 1 (-1 DEC. TREE PER 30 LF)
473 LF
REQUIRED: 16 TREES
PROPOSED: 16 TREES

SOUTH BUFFER TYPE 1 (-1 DEC. TREE PER 30 LF)
238 LF
REQUIRED: 8 TREES
PROPOSED: 8 TREES

SITE INTERIOR PLANTING REQUIREMENT
(1) TREE PER 1,500 SF OF YARD AREA

MAIN SITE- 138,521 SF (25% OPEN SPACE REQ.)
34,630 SF
REQUIRED: 23 TREES
PROPOSED: 24 TREES

STORM WATER AREA 1- 26,468 SF (NOT INCL. POND)
REQUIRED: 18 TREES
PROPOSED: 18 TREES

PARKING LOT PERIMETER LANDSCAPE REQUIREMENTS:
(THROUGHFARE PLAN PUBLIC R.O.W.)

TREES- (1) TREE FOR EVERY 80 LF

SHRUBS- MIN OF (1) SHRUB REQUIRED PER 80 LF

LOCATION OF PARKING / DRIVES: WEST (US 31)
432 LF
REQUIRED TREES: 6
PROPOSED TREES: 6
REQUIRED SHRUBS: 6
PROPOSED SHRUBS: 9

PARKING LOT AREA LANDSCAPING (INTERIOR)
TREES- (1) TREE PER 300 SF REQUIRED
LANDSCAPE AREA- 5% OF PAVED AREA

77,627 SF PARKING LOT
3,881 SF REQUIRED LANDSCAPE AREA (5%)
7,038 SF PROPOSED LANDSCAPE AREA (9%)
13 REQUIRED TREES
13 PROPOSED TREES

STREET TREES REQUIREMENTS:

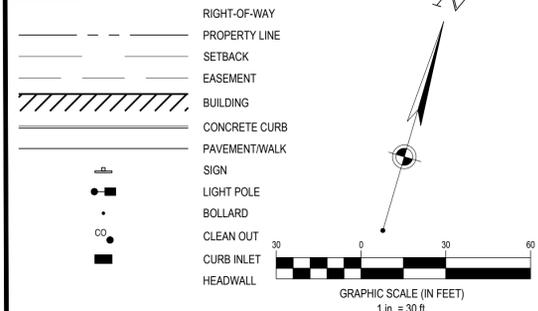
STREET TREES, NORTH, (1 TREE PER 40 LF)
STREET ADJACENT TO STORMWATER POND: 308 LF (NOT INCL. DRIVES)
REQUIRED: 8 TREES
PROPOSED: 8 TREES

STREET TREES, WEST (1 TREE PER 40 LF)
US 31 S 13765 NB, 11897 SB500: 583 LF (NOT INCLUDING ENTRANCE)
REQUIRED: 15 TREES
PROPOSED: 15 TREES

SITE LEGEND

EXISTING
REFER TO ALTA/NSPS TOPOGRAPHIC SURVEY

PROPOSED



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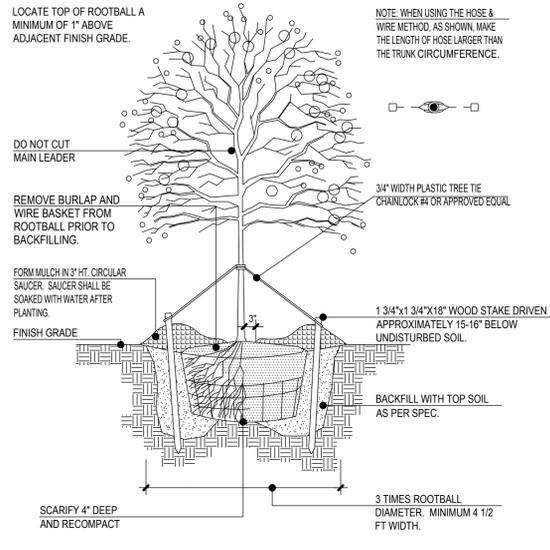
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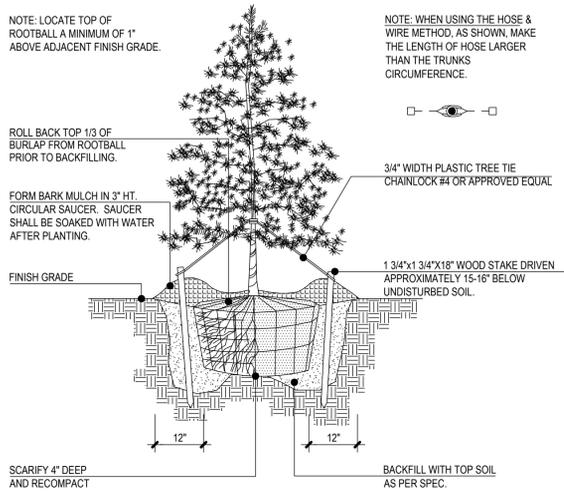
Drawing Title:
LANDSCAPE PLAN- SOUTH



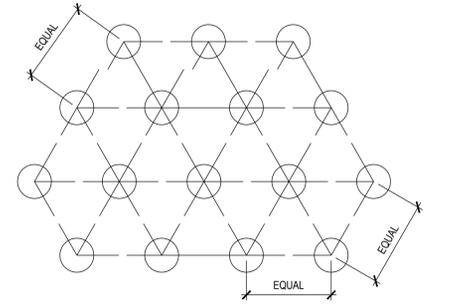
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1 DECIDUOUS TREE STAKING N.T.S.



2 EVERGREEN TREE STAKING N.T.S.



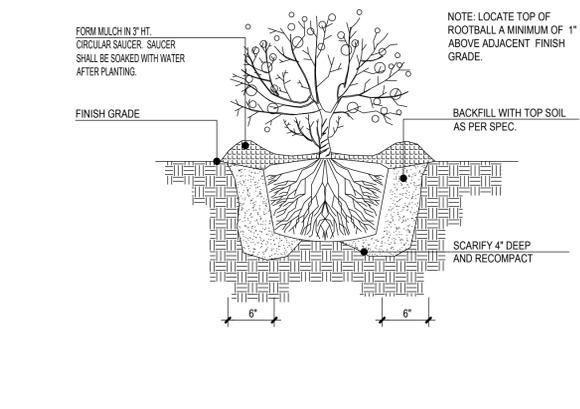
3 GROUND COVER SPACING N.T.S.

GENERAL NOTES: LANDSCAPE PLAN

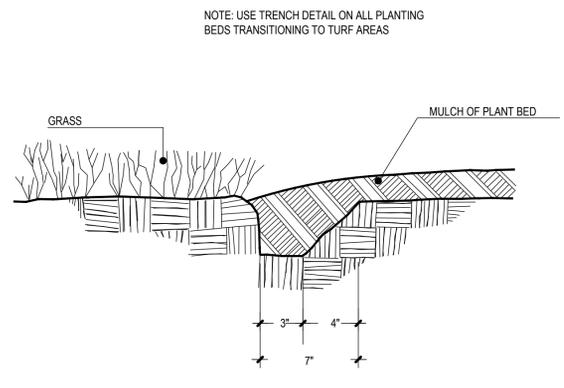
- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- REFER TO SITE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS AS NEEDED.
- REESTABLISH EXISTING TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING, INCLUDING AREAS IN RIGHT-OF-WAY, TO MATCH EXISTING SPECIES.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK/HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUAL SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
- REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER AS NEEDED.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GREATER QUANTITY SHALL GOVERN.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL PLANTS THAT DO NOT MEET THE SIZE AND SPECIFICATIONS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK WILL BE REJECTED BY LANDSCAPE ARCHITECT AT NO COST TO OWNER.
- ONCE PROJECT IS AWARDED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL INSTALL LARGER AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AND REPLACED BY CONTRACTOR AT NO COST TO THE OWNER.
- PRIOR TO MOBILIZATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF HE/SHE BELIEVES ANY OF THE PLANT MATERIAL IDENTIFIED ON THE PLAN MAY NOT BE SUITABLE FOR THE SITE OR MAY DIE. SUBSTITUTION REQUESTS WILL BE GRANTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IF NOTIFICATION IS NOT GIVEN TO THE LANDSCAPE ARCHITECT ALL PLANTING WHICH FAILS TO GROW (EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE AS DETERMINED BY THE OWNER, NEGLIGENCE, OR VANDALISM) SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.
- ALL PLANT MASSES TO BE TOP DRESSED WITH MULCH AS SPECIFIED IN PLANT SCHEDULE. SPREAD UNIFORMLY IN DEPTH OVER THE PLANTING BEDS AS DELINEATED ON THE PLANS UNLESS OTHERWISE NOTED.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING, WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
- ALL PLANTS SHALL BE GUARANTEED FOR 1 YEAR AFTER SUBSTANTIAL COMPLETION OCCURS AND FINAL ACCEPTANCE BY OWNER.
- LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN ACCEPTANCE FROM THE OWNER AND LANDSCAPE ARCHITECT. MAINTAIN TREES, SHRUBS, LAWNS, AND OTHER PLANTS AS PER THE PROJECT MANUAL AND/OR WRITTEN SPECIFICATIONS, IF APPLICABLE. LANDSCAPE MAINTENANCE IS THE LANDSCAPING CONTRACTORS RESPONSIBILITY UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING STANDARDS.
- REFER TO PROJECT MANUAL OR WRITTEN SPECIFICATIONS, IF AVAILABLE, FOR ADDITIONAL REQUIREMENTS.

WAWA LANDSCAPE SPECIFICATIONS - MIDWEST MARKET

- ALL TOPSOIL SHALL BE A MINIMUM 4" IN ALL SOD AREAS AND 10"-12" IN TREE, SHRUB AND GROUND COVER BEDS, INCLUDING PARKING LOT ISLAND BEDS. IT SHALL BE APPROVED BY A WAWA CONSTRUCTION REPRESENTATIVE, PRIOR TO INSTALLATION.
- PLANTING BEHIND PERPENDICULAR PARKING IS TO BE LOCATED A MINIMUM OF 5' BEHIND THE CURB LINE.
- ALL LANDSCAPE AND GRASS AREAS ARE TO BE HAND RANDED AND LEFT CLEAR OF ALL STONES, ROCK, CONSTRUCTION DEBRIS AND ANY UNSUITABLE MATERIALS.
- ALL LANDSCAPE AND GRASS AREAS ARE TO BE IRRIGATED BY AUTOMATIC SPRINKLER SYSTEM. (SEE IRRIGATION SPECIFICATION)
- LANDSCAPE CONTRACTOR WILL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION AND PLANTING INSTALLATION.
- ALL AREAS TO BE LANDSCAPED OR COVERED WITH STONE MUST BE TREATED WITH A PRE-EMERGENCE HERBICIDE (SURFLAN, DACTAL OR APPROVED EQUAL) IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE REGULATION AND THE MANUFACTURER'S INSTRUCTIONS.
- MULCH BEDS ARE TO BE DELINEATED WITH HAND OR MACHINE DUG SHOVEL EDGING.
- RIVER ROCK BEDS ARE TO BE DELINEATED WITH 5/8" ALUMINUM LANDSCAPE EDGING, STAKED AT 3' INTERVALS. ALUMINUM EDGING IS TO BE CLEARLINE 3/8" X 5/8" X 16" PERMALOC. (800-356-9660, WWW.PERMALOC.COM) FOLLOW MANUFACTURERS INSTALLATION DIRECTIONS INCLUDED AT THE END OF THIS SECTION.
- LANDSCAPE CONTRACTOR TO SUPPLY AND INSTALL A PERVIOUS WEED BARRIER (DEWITT, DUPONT OR APPROVED EQUAL) IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS WITHIN ALL LANDSCAPES, INCLUDING STONE AND MULCH BEDS. ALL WEED BARRIER WILL BE OVERLAPPED A MINIMUM OF 6" AT ALL SEAMS. AT PLANT LOCATIONS, BARRIER SHOULD BE CUT IN AN "X" PATTERN SO TO ACCOMMODATE ROOT BALL AND REPLACED AFTER PLANT HAS BEEN INSTALLED.
- WEED BARRIER SHALL NOT BE VISIBLE IN AREAS DESIGNATED FOR STONE MULCH. WHEN STONE IS CALLED FOR ADJACENT TO CURB OR SIDEWALKS, IT SHALL BE FEATHERED DOWN TO CURB LEVEL FROM A DISTANCE 24" FROM THE CURB.
- ALL PROPOSED LANDSCAPING TO BE NURSERY GROWN, TYPICAL OF THEIR SPECIES OR VARIETY. THEY ARE TO HAVE NORMAL VIGOROUS ROOT SYSTEMS, FREE FROM DEFECTS AND INFECTIONS AND IN ACCORDANCE WITH ANSI Z60.1
- ALL PROPOSED PLANTINGS SHOULD BE INSTALLED PER STANDARDS OF THE "AMERICAN ASSOCIATION OF NURSERYMEN" AND STATE NURSERY/LANDSCAPE ASSOCIATIONS WITH REGARD TO PLANTING, PIT SIZE, BACKFILL MIXTURE, STAKING AND GUYING.
- ALL PLANTING CONTAINERS AND BASKETS SHALL BE REMOVED DURING PLANTING. ALL PLANTS SHALL BE SET PLUMB AND POSITIONED SO THAT THE TOP OF THE ROOT COLLAR MATCHES OR IS NO MORE THAN TWO (2) INCHES ABOVE FINISHED GRADE. REPLACE AMENDED BACKFILL IN 6-INCH LAYERS AND COMPACT BACKFILL TO ELIMINATE VOIDS. CONTRACTOR SHALL PROVIDE A FOUR INCH HIGH EARTHEN WATERING SAUCER ALONG THE PERIMETER OF EACH PLANTING PIT. CONTRACTOR SHALL WATER NEWLY PLANTED VEGETATION PRIOR TO MULCH PLANTING PIT. ALL VOIDS SHALL BE FILLED AND SETTling MITIGATED AS REQUIRED. ALUMINUM EDGING SHALL BE INSTALLED AROUND ALL PLANTING AREAS TO DELINEATE BETWEEN DIFFERENT LANDSCAPE MATERIALS.
- AFTER INITIALS WATERING AND PRIOR TO MULCHING, CONTRACTOR SHALL APPLY HERBICIDES AND PRE-EMERGENT HERBICIDES AS REQUIRED TO ELIMINATE AT WEED SEEDS OR PLANTS PRESENT ON ROOT BALL.
- ALL PLANTING BEDS AND PITS EXCEPT FOR LANDSCAPE ISLANDS ADJACENT TO THE BUILDING AND DESIGNATED AREA AT THE FUEL VENT STACKS, SHALL BE MULCHED WITH DOUBLE GROUND HARDWOOD MULCH AT A MINIMUM DEPTH OF 3". LANDSCAPE ISLANDS ADJACENT TO THE TANK MAT SHALL BE MULCHED WITH 1-3" "RIVER STONE" MULCH TO AT LEAST A DISTANCE OF 5' FROM THE TANK MAT AND VENT STACK. FOR LANDSCAPES ADJACENT TO BUILDING, CONTACT WAWA'S PROJECT ENGINEER.
- TURF SPECIFICATION AND SEEDBED PREPARATION
 - UNLESS REQUIRED FOR PARTICULAR BMP AREAS, ALL TURF ON WAWA LEASED PREMISES IS TO BE SOD. WHEN REQUIRED FOR BMP'S, SEED MIX IS TO MEET LOCAL REQUIREMENTS. SOD SHALL BE TURF TYPE TALL FESCUE AND INSTALLED ON A MINIMUM OF 4" OF TOPSOIL.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS OR FERTILIZER MAY BE APPLIED AT THE RATE OF 250 POUNDS PER ACRE OR 6 POUNDS PER 1000 SQUARE FEET USING 10-20-10 OR EQUIVALENT OF SLOW-RELEASE NITROGEN MAY BE IN LIEU OF TOPDRESSING.
 - WORK LIME AND FERTILIZER INTO THE SOIL AS PRACTICAL TO A DEPTH OF 4-INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE PARALLEL TO THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM, FINE SEEDBED IS PREPARED. ALL BUT CLAY OR SILTY SOILS AND COARSE SAND SHOULD BE ROLLED TO FIRM THE SEEDBED WHEREVER FEASIBLE.
 - INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED AND FIRMED AS OUTLINED BELOW.
- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETENESS. THE CONTRACTOR SHALL REPLACE PLANTS, DEAD, UNHEALTHY, DYING OR DAMAGED THROUGH THE LOSS OF BRANCHES AND/OR FOLIAGE. LAWNS THAT ARE NOT IN GOOD CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REPAIRED UNTIL A GOOD LAWN RESULTS. IT IS UNDERSTOOD THAT THE OWNER SHALL ASSUME RESPONSIBILITY FOR WATERING ALL PLANT MATERIAL AND LAWN AREA BEGINNING WITH THE DATE OF SUBSTANTIAL COMPLETENESS.



4 EVERGREEN / DECIDUOUS SHRUB N.T.S.



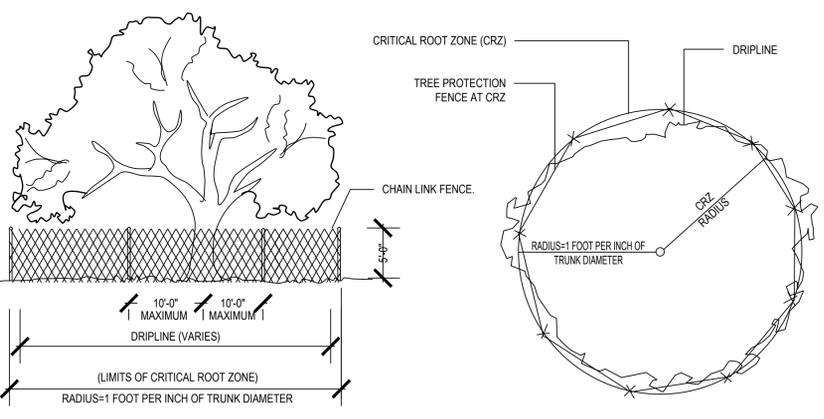
5 TRENCH EDGING N.T.S.

TREE PROTECTION NOTES

- DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, DO NOT PLACE SOIL DEPOSITS, DEBRIS SOLVENTS, MACHINERY CONSTRUCTION MATERIAL OF ANY KIND WITHIN THE DRIP LINE OF A TREE TO REMAIN.
- BEFORE CONSTRUCTION STARTS ALL PROTECTED TREES SHALL BE PRUNED AS FOLLOWS UNLESS OTHERWISE DIRECTED BY THE OWNER OR HIS REPRESENTATIVE: REMOVE ANY DEAD OR DISEASED TRUNKS OR BRANCHES, AND REMOVE WEAK OR CROSSED BRANCHES. ALL CUTS SHALL BE MADE SUFFICIENTLY CLOSE TO THE TRUNK OR PARENT LIMB, WITHOUT CUTTING INTO THE BRANCH COLLAR OR LEAVING A PROTRUDING STUB, SO THAT CLOSURE CAN READILY START. ALL TRIMMING SHALL BE DONE BY A QUALIFIED TREE SURGEON. PRUNING SHALL BE IN ACCORDANCE WITH ANSI A-300 PRUNING STANDARDS.
- ALL ROOTS TO BE REMOVED DURING THE SITE CLEARING SHALL BE SEVERED CLEAN AT THE PERIMETER OF THE DESIGNATED PROTECTED RADIUS. A 3" LAYER OF MULCH SHALL BE IMMEDIATELY APPLIED OVER THE SURFACE OF EXPOSED ROOTS OF PROTECTED TREES. A SOIL AUGER WILL BE USED TO BORE UNDER ROOT SYSTEMS UTILITIES ARE TO BE INSTALLED WITHIN 10' OF A PROTECTED TREE.

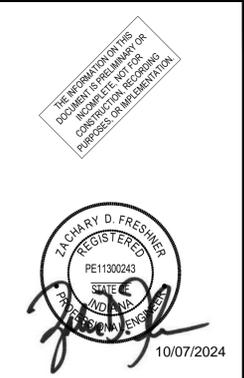
ROOT PRUNING NOTE:

WHEN THE CRITICAL ROOT ZONE WILL BE DISTURBED, AFFECTED ROOTS MUST BE SEVERED BY CLEAN PRUNING CUTS AT THE POINT WHERE CONSTRUCTION IMPACTS THE ROOTS. ROOTS CAN BE PRUNED BY UTILIZING TRENCHING EQUIPMENT DESIGNED FOR THIS PURPOSE OR BY HAND DIGGING A TRENCH AND PRUNING ROOTS WITH A PRUNING SAW, CHAIN SAW OR OTHER EQUIPMENT DESIGNED FOR TREE PRUNING. ROOTS LOCATED WITHIN A CRITICAL ROOT ZONE THAT WILL BE IMPACTED BY CONSTRUCTION MUST BE PRUNED TO A DEPTH OF 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAN 18 INCHES FROM THE EXISTING GRADE. WHEN UNDERGROUND UTILITY LINES ARE TO BE INSTALLED WITHIN THE CRITICAL ROOT ZONE, THE ROOT PRUNING REQUIREMENTS MAY BE WAIVED IF THE LINES ARE INSTALLED VIA TUNNELING OR DIRECTIONAL BORING AS OPPOSED TO OPEN TRENCHING. A LICENSED CERTIFIED ARBORIST SHALL PROVIDE PRUNING.



- NOTES:
- NO TRUCKS OR HEAVY EQUIPMENT ALLOWED WITHIN BARRIERS, ONLY HAND LABOR ALLOWED.
 - NO CONSTRUCTION MATERIALS, SOILS DEPOSITS, OR SOLVENTS SHALL BE ALLOWED WITHIN BARRIERS.
 - BARRIERS ARE TO IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITIES WITH-IN TREE AREA.
 - BARRIERS ARE TO STAY IN PLACE UNTIL ALL PAVING, CONSTRUCTION, AND HEAVY EQUIPMENT IS REMOVED FROM THE AREA.
 - CRITICAL ROOT ZONE: 1 INCH OF TREE AT DIAMETER BRESTH HEIGHT (DBH) IS EQUAL TO 1 FOOT OF CRITICAL ROOT ZONE (CRZ). IE. 30 INCH DBH = 30 FOOT CRZ

6 TYP. TREE PROTECTION N.T.S.



WAWA STORE #7426

FRANKLIN, IN
NE HIGHWAY 31ST & E COUNTY ROAD 300 N (EARLYWOOD DRIVE)
FRANKLIN, IN 46131

Revisions / Submissions		
ID	Description	Date

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LANDSCAPE DETAILS AND NOTES

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